

TO: TEA CITY COUNCIL

FROM: Kevin Nissen, Planning & Zoning Administrator

AGENDA DATE: November 15, 2021

1. Ace Hardware Site Plan and Foundation Permit

Engineer: Willadsen Lund Engineer

Zoning: GB – General Business Commercial

Contractor/Architect: Jans Corporation

The Board reviewed the site and foundation plans for a new 16,500sf Ace Hardware Store located on Heritage Parkway. The existing building will stay but updated to match the new structure. The drainage plan will address the current ponding in the southwest corner and tie it into the storm sewer in Heritage. The zoning requirements for parking, landscape and building setbacks have been met. The utility shows a 2” domestic water line into the building. Board Member Maag indicated a fire sprinkler system is required for the size of building and height of stackable shelving. A separate line should be shown.

The structural and foundation plans were sent to Codeworks for initial review and approval for a Foundation permit. The building isn’t planned for construction until February. Those plans will be sent for review and approval upon completion. The Board recommends approval of site plan with final HDR approval and moving forward with the Foundation permit.

Attachment: Site Plan and Review Comments, Foundation plans.



Site Plan Review

Ace Hardware

Zelmer First Addition

Lot 2 Tract A Block 6

Prepared By: (Eric Willadsen / Willadsen Lund Engineering)

Submitted On: Friday, October 15, 2021

Reviewed By: HDR Engineering, Inc. / Cody Woessner

Review Date: Monday, October 18, 2021

The contents of this checklist are based upon the content outlined in **Article 5 and Article 14** of the City's Subdivision Regulations effective as of December 1st, 2011.

The following items have been reviewed for the Site Plan as defined above:

Contact Information

Property Owner Name, Phone Number, and E-mail address

Comments *Included on Sheet C1*

Developer Name, Phone Number, and E-mail address

Comments *Included on Sheet C1*

Surveyor Name, Phone Number, and E-mail address

Comments *Assume WLE is surveyor. Please verify and include in plans on Sheet C1.*

General Plan Content

Design Engineer acknowledges review of Development Plan during site plan preparation

Comments

Vicinity Map

Comments *Included on Sheet C1*

Date of Survey

Comments *Please include*

Benchmark Information (Location, Elevation, and Datum)

Comments *Included on Sheet C1*

Scale & North Arrow

Comments *Included on applicable sheets. Scale does not appear to be correct on all sheets.*

Zoning (ON site and for all adjacent properties)

Comments *Included on Sheet C1*

Subdivision Labels (identify adjacent Lots, Tracts, Subdivisions, and other unplatted properties)

Comments *Included on Sheet C1*

Property Lines, Dimensions, and Property Area (are must be in Square Feet **and** Acres)

Comments *Please label west side property line dimension*

Setback Distances (front, side, and rear yards – varies by zoning)

Comments *Lists multiple front yard setbacks on sheet C1. Only 1 front yard setback is applicable to this property. Please omit dimensions that are not applicable per zoning for this site. Please include labels of setbacks on a plan sheet.*

Easements (include description/use and dimension – verify with development plan & plat)

Comments *Included on Sheet C1*

Right-of-Way & Private Access (names & dimensions)

Comments *Included on Sheet C1.*

Building Dimensions & Size (size must be in square feet)

Comments *Included on Sheet C2*

Plan Utilities

- Location & Size of **EXISTING** water and sanitary utilities
eg. municipal or rural water main, sanitary pipes, services, or holding tanks, storm sewers, drainage culverts, detention ponds, etc.

Comments [Included on Sheet C2](#)

- Location & Size of **PROPOSED** water and sanitary utilities
eg. water & sewer service pipe lengths, bends, slopes, and depths, water service corp stop and valve locations, water meter location, sanitary sewer holding tank location and invert (if applicable), sanitary sewer service clean outs, etc.

Comments [Included on Sheet C2](#)

Plan Drainage

- Location & Size of **EXISTING** drainage facilities
eg. storm sewers, drainage culverts, detention ponds, etc.

Comments [Included in note 7 on Sheet C2](#)

- EXISTING** drainage patterns
eg. illustrate directions of drainage within and surrounding the site, identify locations where outside drainage enters the site and where drainage exits the site (use drainage arrows)

Comments [Included on Sheet C5](#)

- EXISTING** drainage analysis
Delineate drainage basins within and contributing to site drainage **prior to** development. Identify method of drainage analysis & provide analysis data for 0.20 and 0.01 recurrence intervals (5-year and 100-year storm events)

Comments [See additional comments in email attachment "Drainage Calcs Ace.JPG"](#)

- Location & Size of **PROPOSED** drainage facilities
eg. storm sewers, drainage culverts, detention ponds, etc.

Comments [Included in note 7 on Sheet C2. Diagonal storm sewer pipe crossing over the water and sewer services may not be desirable. Recommend realigning from southwest pond to boulevard pond using an "L Shape" at the north side of the south entrance to the property.](#)

- PROPOSED** drainage patterns
eg. illustrate directions of drainage within and surrounding the site, identify locations where outside drainage enters the site and where drainage will exit the site (use drainage arrows)

Comments [Included on Sheet C3](#)

- PROPOSED** drainage analysis
Delineate drainage basins within and contributing to site drainage **after** site development is complete.

- VERIFY** the proposed conditions do not exceed what was planned for this site in the Development Engineering Plans. Identify method of drainage analysis & provide analysis data for 0.20 and 0.01 recurrence intervals (5-year and 100-year storm events)

Comments [See additional comments in email attachment "Drainage Calcs Ace.JPG"](#)

- Floodplain/Floodway/Flood Risk Review
Identify applicable FEMA Flood Insurance Rate Maps (FIRM) and panel date. If present on or adjacent to the site, identify the boundary lines of the floodway and 100-year flood zones and include the base flood elevation most applicable to the site plan structure(s).

Comments [Included on Sheet C1. Please include effective date of FEMA Map Panel](#)

Site Grading

Contours

- Identify *existing* and *proposed* contours
(proposed contours must match adjacent grades at property limits)

Comments [Included on Sheet C3](#)

Spot Elevations

- Identify ground elevations at all building corners, lot corners, and low (min) & high (max) points along property lines.

Comments **Please include**

Curb Grades

- Identify proposed curb grades and breaks in grade (ridge & valley points)

Comments [Included on Sheet C3](#)

Wetlands & Erosion Control

- Identify location of any wetlands on or adjacent to the site
(Provide copy of US Army Corps of Engineers Jurisdictional Determination, if applicable)

Comments [N/A. Wetlands note on Sheet C5](#)

- Identify area of disturbance for grading activities
(If more than one acre is to be disturbed, provide erosion control plan and SWPPP)

Comments [Included on Sheet C1 as 0.9 acres. However, we believe that the entire site will be disturbed, equating to ~1.35 acres, which would require an NOI from the SDDANR.](#)

Landscaping & Screening

- Identify Landscaping & Screening Locations
(Tree placement, signs, etc.)

Comments [Included on Sheet C4](#)

- Dumpster Location

Comments [Included in Note 13 on Sheet C4](#)

Parking

- Identify Parking Area, quantity and dimensions of Parking Stalls
(parking stall quantity varies by land & building use per zoning)

Comments [Included on Sheet C4](#)

Comments from the City Council and the Planning & Zoning Committee may also be included with this review.

The next City Council Meeting is scheduled for: Monday, November 15, 2021

The next Planning & Zoning Meeting is scheduled for: Tuesday, November 9, 2021

The following additional comments have been shared by various members of the City's Planning & Zoning Committee and City Council:

How did Tc get bigger when the site became impervious and the roughness went down? Show your calculations for Time of concentration

Value isn't correct. Show your calculation

Value isn't correct. Show your calculation

What is this calculation. Show source. What is your outlet flow?

DEVELOPED DRAINAGE (RATIONAL)

ACE HARDWARE
1.35 ACRES
MANNING'S=0.011
RUNOFF COEFF
5 YR=0.88 100YR=0.93
Tc=15.4 MIN

EVENT EXISTING FLOW
5YR 5.53 FT³/S
100YR 9.16 FT³/S

POND SIZE (WQCV)

IMPERVIOUS ACRES=1.079 AC
PERVIOUS ACRES = 0.275 AC
TOTAL 1.35 ACRES =0.80% IMPERVIOUS

REQUIRED WQCV VOLUME
WQCV = 0.056 ACRE-FT = 2440 CF

PROPOSED WQCV VOLUME = 2440 CF

WQCV RISER PIPE (2'DEEP)
6 ROWS 0.438" DIAMETER HOLES (7/16")

POND SIZE (100 YR STORAGE)

$Q_{(100YR C=0.93)} - Q_{(5YR C=0.20)}(T_c) = \text{POND SIZE}$
(9.16 FT³/S - 1.47 FT³/S)(15.4 MIN)(60 S) = 7,106 FT³
PROPOSED VOLUME = 8,062 FT³



LEGEND

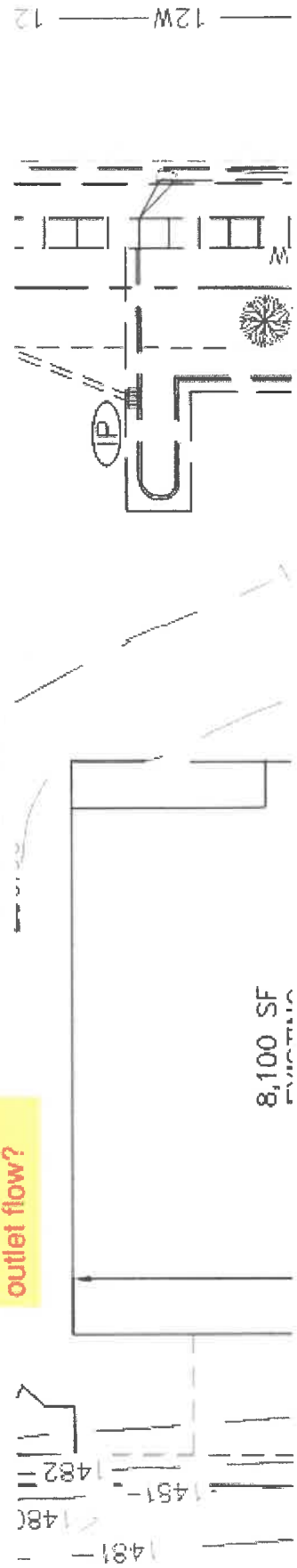
NOT ALL SYMBOLS APPEAR C

- CENTERLINE
- PROPERTY LINE
- EXISTING CONTC
- 1400--- PROPOSED CON
- 1400--- PROPOSED STO
- SPTS--- SUMP PUMP CC
- SF TYPE DROP
- BI DROP INLET
- STS JUNCT. BO
- GRASS TURF
- SILT FENCE
- SILT DITCH
- DIVERSION DIKE
- INLET/OUTLET 1
- RIP RAP
- VEHICLE TRACK

UNDEVELOPED DRAINAGE (RATIONAL)

ACE HARDWARE
1.35 ACRES
RUNOFF COEFF (UNDEVELOPED AREAS)
5 YR=0.20 100 YR=0.60
MANNING'S=0.025 (GRAVEL)
Tc=9.5 MIN

EVENT EXISTING FLOW
5YR 1.47 FT³/S
100YR 6.76 FT³/S



GENERAL NOTES

CONSTRUCTION OF ALL SITE UTILITY, PARKING LOT, AND DRAINAGE IMPROVEMENT SHALL BE COMPLETED IN ACCORDANCE WITH THE CURRENT STANDARD SPECIFICATIONS AND CONSTRUCTION REQUIREMENTS FOR THE CITY OF TEA PUBLIC IMPROVEMENTS, AND THE SD DOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES.

THE SITE CONTAINS 59,000 SF - ±1.35 ACRES. THE DISTURBED AREA WILL BE APPROXIMATELY ±0.9 ACRES.

A NOTICE OF INTENT FILED WITH SD DENR WILL NOT BE REQUIRED FOR THIS PROJECT.

NO WETLANDS EXIST ON THIS SITE.

THIS PORTION OF THE DEVELOPMENT DOES NOT LIE WITHIN THE BOUNDARIES OF THE 100 YR. FIRM FLOOD PLAIN.

ALL STREETS ADJACENT TO THE SITE SHALL BE CLEANED AT THE END OF EACH WORKING DAY. ADJACENT STREET SHALL BE KEPT CLEAN OF CONSTRUCTION TRACKING AND DEBRIS AT ALL TIMES.

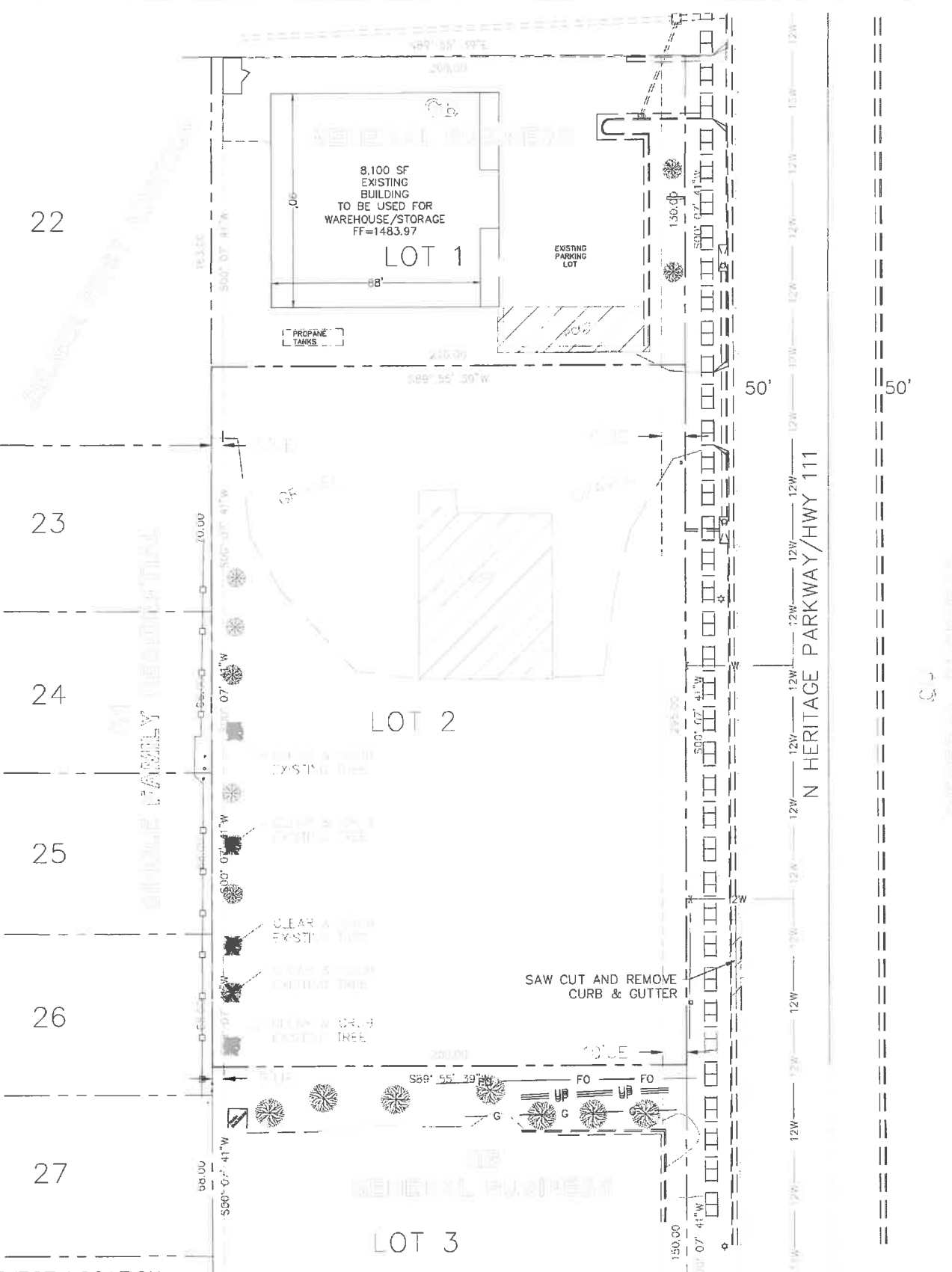
CAUTION: CONTRACTOR SHALL EXERCISE EXTREME CARE AROUND EXISTING UTILITIES. CONTACT SD ONE CALL - 811 - PRIOR TO ANY EXCAVATION.

ANY PEDESTRIAN PATHWAYS OR SIDEWALKS INSTALLED ON OR ADJACENT TO THIS SITE DEVELOPMENT SHALL BE FULLY ADA COMPLIANT. THE CITY WILL BE INSPECTING NEW SIDEWALK INSTALLATION IS COMPLETE, CONTRACTOR SHOULD CONTACT THE CITY ENGINEER'S OFFICE TO SCHEDULE AN INSPECTION. ANY SECTIONS OF SIDEWALK FOUND TO BE OUT OF COMPLIANCE WILL BE REMOVED AND REPLACED BY THE PERMIT HOLDER. THERE ARE NO CONSTRUCTION TOLERANCES ON MAXIMUM OR MINIMUM GRADES.

EXISTING PEDESTRIAN SIDEWALKS INSTALLED ON THIS SITE FOUND TO:

- NOT BE FULLY ADA COMPLIANT;
- HAVE VERTICAL SEPARATIONS (TRIP HAZARDS) 1/2"±;
- HAVE BROKE PANELS; SHALL BE REPAIRED WITH THIS PROJECT BY PERMIT HOLDER. THE CITY DOES NOT ACCEPT ANY CONSTRUCTION TOLERANCES (MINIMUM OR MAXIMUM GRADES.)

ZONING : GB - GENERAL BUSINESS
FRONT YARD - 15', 20', 25' SIDE YARD - 5' REAR YARD - 5'
FEMA FLOOD ZONE: X (MINIMAL FLOOD HAZARD)
FEMA MAP NO: 46083C0129C
BASE FLOOD ELEVATION (BFE) = N/A



PROPERTY DESCRIPTION

LOT 2 TRACT A BLOCK 6 ZELMER FIRST ADDITION TO THE CITY OF TEA, SD 701 N HERITAGE PARKWAY

BM: Δ ELEV. = 1485.14 (88 DATUM)
TOP NUT OF HYDRANT NW CORNER
COUNTY HWY 111 & RYAN DRIVE



CONSTRUCTION NOTES

- INSTALL TEMPORARY EROSION CONTROL MEASURES AS INDICATED ON THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP). CONTRACTOR SHALL MAINTAIN ALL TEMPORARY EROSION CONTROL DEVICES ON SITE DURING CONSTRUCTION AND UNTIL FINAL STABILIZATION IS ESTABLISHED, AND APPROVAL IS GIVEN FOR REMOVAL. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MODIFICATIONS AND OR RELOCATION THAT MAY BE REQUIRED, AND REMOVAL AND CLEAN UP OF ALL TEMPORARY DEVICES AT THE COMPLETION OF THE PROJECT.
- STRIP AND SALVAGE ANY AND ALL AVAILABLE SUITABLE TOPSOIL WITHIN THE PROJECT LIMITS. STOCKPILE FOR PLACEMENT OF A MINIMUM OF 4" ON AREAS TO RECEIVE TURF OR LANDSCAPE PLANTINGS. ADDITIONAL TOPSOIL MAY BE REQUIRED TO BE FURNISHED BY THE CONTRACTOR FROM AN APPROVED SOURCE SHOULD PROJECT NEEDS DICTATE.
- REMOVE EXISTING CURB & GUTTER AND PAVEMENT AT THE LOCATIONS INDICATED TO FACILITATE CONSTRUCTION OF DRIVEWAY APPROACHES AND THE ADA PEDESTRIAN SIDEWALK PATH TO THE BUILDING.

ACKNOWLEDGE THE PROPOSED LANDSCAPE AREAS IN THE FRONT YARD SETBACKS AND MISCELLANEOUS AREAS, AND ESTIMATE ACCORDINGLY. AREAS OUTSIDE THE BUILDING FOOTPRINT AND SITE PAVING SHALL BE GRADED AND SUFFICIENTLY COMPACTED TO RECEIVE A MINIMUM 4" OF SUITABLE TOPSOIL FOR SOIL/SEED AND LANDSCAPING.

THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL SURPLUS MATERIAL IN AN APPROPRIATE MANNER OFF SITE ONCE PROJECT NEEDS HAVE BEEN MET. ALL CONSTRUCTION DEBRIS GENERATED FROM THE PROJECT SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR FOR DISPOSAL.

SHEET INDEX

- C1 TOPOGRAPHIC SURVEY/DEMOLITION PLAN
- C2 UTILITY PLAN
- C3 GRADING PLAN
- C4 PAVING & LANDSCAPING
- C5 SWPP PLAN
- C6-C8 STANDARD DETAILS

OWNER:

ACE HARDWARE - JOHN NIEDERAUER
(605) 951-1054
gniederauer@hotmail.com

CONTRACTOR:

JANS CORPORATION - JOSH COLWELL
(605) 331-5287
joshc@janscorp.com

ENGINEER:

12OCT2021

REMOVAL LIMITS
I, ERIC P. WILLADSEN, P.E., HEREBY ACKNOWLEDGE THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DAILY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF SOUTH DAKOTA.

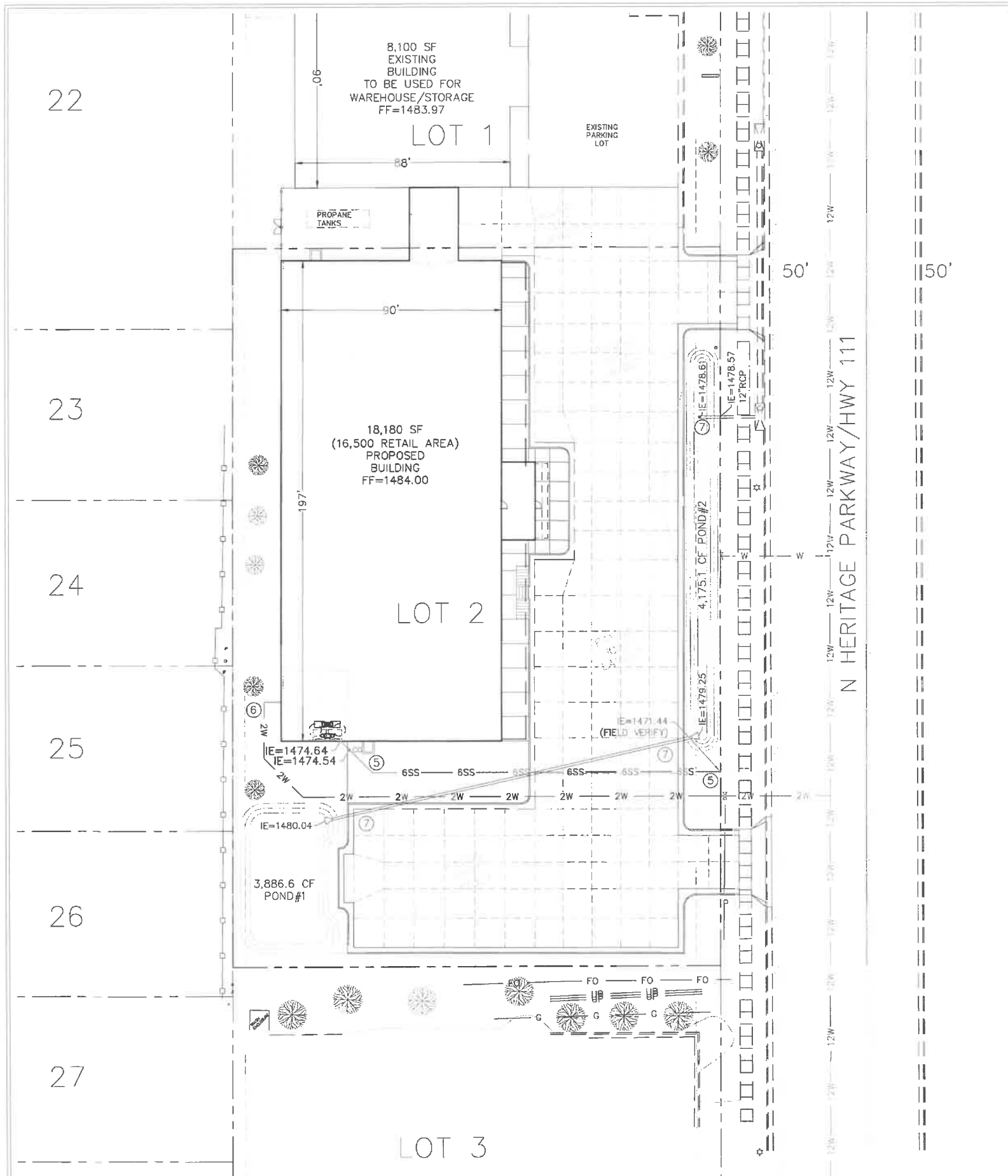
REVISIONS:	DATE:

WLE **WILLADSEN LUND ENGINEERING**
902 SOUTH CLEVELAND AVENUE www.willadsenlund.com
SIOUX FALLS, SOUTH DAKOTA 57103 (605)338-6950

**ACE HARDWARE
TEA, SOUTH DAKOTA**

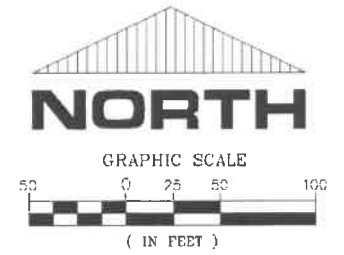
**SITE TOPOGRAPHY &
DEMOLITION PLAN**

PROJECT No.:	2021-191	SHEET
DRAWN BY:	TWL	C1
APPROVED BY:	EPW	
DATE:	OCT2021	



CONSTRUCTION NOTES

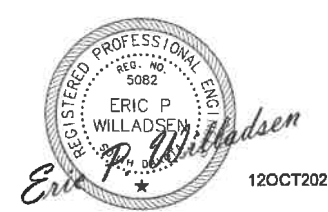
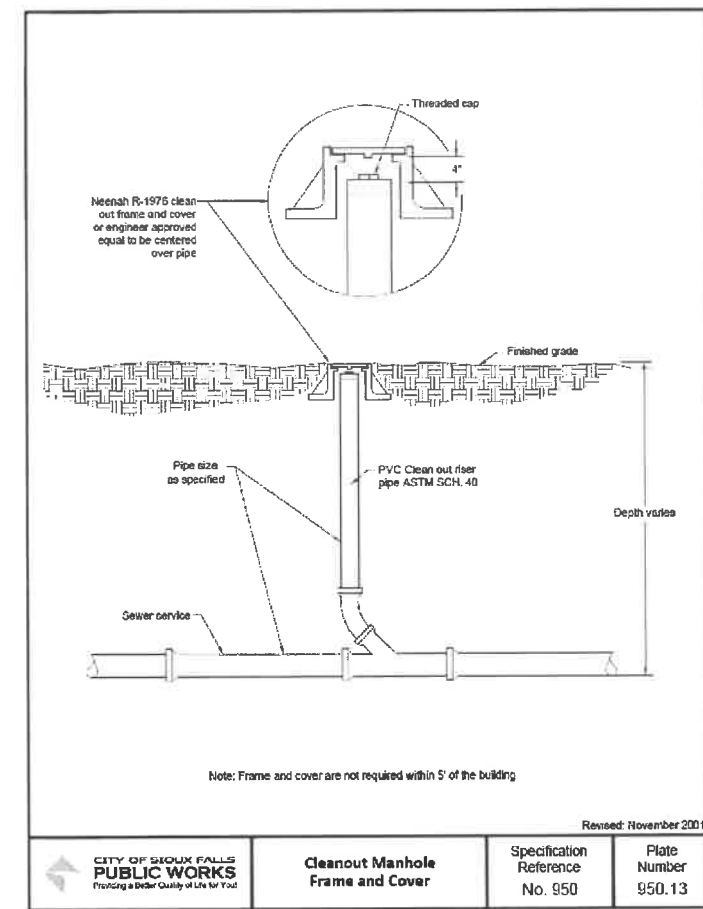
- ④ CONTRACTOR SHALL COORDINATE WITH THE PRIVATE UTILITY COMPANIES FOR ELECTRICAL POWER, NATURAL GAS, PHONE, AND INTERNET SERVICE. ALL UTILITIES TO SERVICE THE NEW BUILDING SHALL BE COORDINATED BY THE CONTRACTOR AND APPROVED BY THE OWNER.
 - CONTRACTOR AND SUBCONTRACTORS SHALL CONTACT SD ONE CALL 811 PRIOR TO ANY EXCAVATION ASSOCIATED WITH THE PROJECT.
 - ⑤ EXCAVATE THE EXISTING 6" SANITARY SEWER SERVICE STUB OUT AT THE LOCATION INDICATED. INSTALL APPROXIMATELY 160LF OF 6" SANITARY SEWER PIPE TO A POINT 5FT OUTSIDE THE BUILDING AND INSTALL A 4"x6" CLEANOUT ASSEMBLY. MAINTAIN A MINIMUM PIPE GRADE OF 2.0%.
 - ⑥ EXCAVATE THE EXISTING 2" WATER SERVICE STUB OUT AND INSTALL +/-224LF 2" WATER SERVICE PIPE INTO THE BUILDING. COORDINATE BUILDING CONNECTION WITH THE PLUMBING SUBCONTRACTOR. PLUMBER SHALL COORDINATE INSTALLATION OF METERS WITH THE CITY OF SIOUX FALLS WATER DEPARTMENT.
 - ⑦ STORM WATER RUNOFF CONSISTS OF OVERLAND FLOW OFF THE BUILDING AND PARKING AREAS TO THE TWO PROPOSED DETENTION PONDS AT THE LOCATIONS INDICATED. POND #1 WILL BE CONNECTED TO POND #2 WITH 12" RCP AND POND #2 WILL BE CONNECTED TO CITY'S 12" STORM SEWER SYSTEM AT THE LOCATION INDICATED. A RISER PIPE ASSEMBLY SHALL BE CONSTRUCTED AS PER CONSTRUCTION DETAIL FOR METERING THE FLOW OUT OF POND #2.
- EXCAVATE THE TWO DETENTION PONDS TO THE LINES AND GRADE INDICATED. VERIFY WITH THE OWNER FOR TYPE FINISH IN THE PONDS OF EITHER SEED, FERTILIZER, AND MULCH OR ROCK/STONE LINED ON DRAINAGE FABRIC.
- INSTALL 144LF OF 12" CL 5 RCP @ 0.5% GRADE. INSTALL 12" RCP FLARED END SECTIONS ON BOTH ENDS WITH CLASS A RIPRAP ON DRAINAGE FABRIC AT THE INLET AND OUTLET.
- EXCAVATE THE EXISTING 12" PIPE STUBBED OUT OF THE CITY DROP INLET AT THE LOCATION INDICATED. INSTALL 8LF OF 12" CL 5 RCP @ 0.5% GRADE AND CONNECT TO A 12" PVC 90 DEG BEND AND RISER PIPE. SEE DETAIL.



LEGEND

NOT ALL SYMBOLS APPEAR ON DRAWING

CENTERLINE	---
PROPERTY LINE	---
EXISTING CONTOURS	---1400---
PROPOSED CONTOURS	---1400---
NATURAL GAS	---G---
UNDERGROUND TELEPHONE	---UT---
OVERHEAD TELEPHONE	---OT---
FIBER OPTIC	---FO---
UNDERGROUND POWER	---UP---
OVERHEAD POWER	---OP---
UNDERGROUND CABLE TV	---UTV---
OVERHEAD CABLE TV	---OTV---
EXISTING SANITARY SEWER	---SS---
SANITARY SEWER	---SS---
SANITARY SEWER CLEAN-OUT	---SCO---
EXISTING STORM SEWER	---STS---
STORM SEWER	---STS---
EXISTING WATER	---W---
WATER MAIN	---W---
WATER VALVE	---V---
FIRE HYDRANT	---FH---
CURB STOP	---CS---
POST INDICATOR VALVE	---PIV---
SPRINKLER HEAD	---SH---
POWER POLE	---PP---
TRAFFIC SIGNAL	---TS---
STREET LIGHT	---SL---
ELECTRICAL JUNCT. BOX	---EJB---
UTILITY PEDESTAL	---UP---
POWER TRANSFORMER	---PT---
UTILITY VAULT	---UV---
BENCH MARK	---BM---
PROPERTY PIN	---PPIN---
GAS VALVE	---GV---
SANITARY SEWER MANHOLE	---SSM---
TRAFFIC MANHOLE	---TM---
ELECTRICAL MANHOLE	---EM---
SF TYPE DROP INLET	---SDI---
BI DROP INLET	---BDI---
STS JUNCT. BOX	---STSJB---
STS CATCH BASIN	---SCB---
DETECTABLE WARNING PANEL	---DWP---
CURB & GUTTER	---CG---
CHAIN LINK FENCE	---CLF---
BARBED WIRE FENCE	---BWF---
WOOD FENCE	---WF---
SILT FENCE	---SF---
CONIFEROUS TREES	---CT---
DECIDUOUS TREES	---DT---
GRASS TURF	---GT---
LANDSCAPE ROCK	---LR---



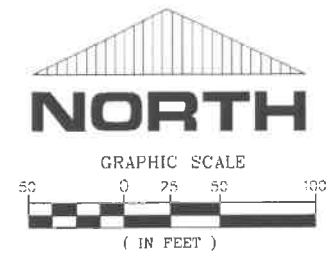
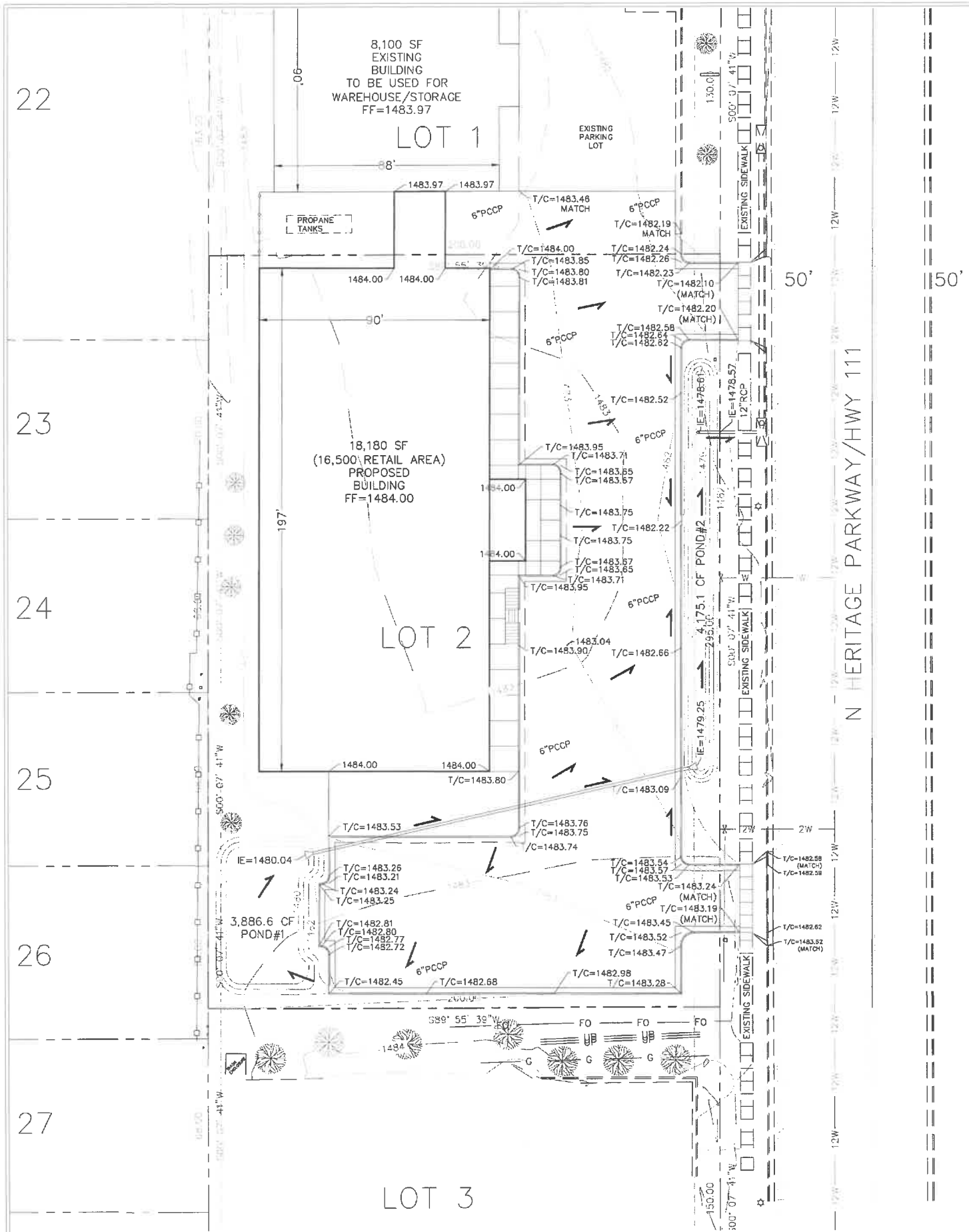
REVISIONS:	DATE:

WILLADSEN LUND ENGINEERING
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 SIOUX FALLS, SOUTH DAKOTA 57103 (605)338-6950

ACE HARDWARE
TEA, SOUTH DAKOTA

UTILITY PLAN
 PROJECT No.: 2021-191 SHEET
 DRAWN BY: TWL C2
 APPROVED BY: EPW
 DATE: OCT2021

I, ERIC P. WILLADSEN, P.E., HEREBY ACKNOWLEDGE THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF SOUTH DAKOTA.



CONSTRUCTION NOTES

8 FOLLOWING THE COMPLETION OF ALL UNDERGROUND WORK, THE CONTRACTOR WILL BE REQUIRED TO SCARIFY, EXCAVATE, PLACE EMBANKMENT, SHAPE, AND COMPACT THE SUBGRADE FOR ALL PARKING LOT AREAS AND ACCESS ISLES AREAS IN PREPARATION FOR CONSTRUCTION OF THE AGGREGATE BASE COURSE, CURB & GUTTER, PC CONCRETE SIDEWALK, AND PC CONCRETE PAVING.

EXCAVATION, EMBANKMENT, AND COMPACTION SHALL BE CONDUCTED IN ACCORDANCE WITH THE CURRENT CITY OF TEA CONSTRUCTION REQUIREMENTS FOR PUBLIC INFRASTRUCTURE. WATER FOR COMPACTION OF THE SUBGRADE SHALL BE PROVIDED BY THE CONTRACTOR, IF NECESSARY, AND USED TO MAINTAIN THE SOIL AT OR NEAR OPTIMUM MOISTURE CONTENT DURING THE COMPACTION PROCESS.

UNDERCUTTING OF THE SUBGRADE WILL NOT BE REQUIRED. HOWEVER, UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED OR REWORKED AS REQUIRED AND SHALL BE INCLUDED IN THE BID FOR THE SUBGRADE PREPARATION WORK TO ACHIEVE A SUITABLE SUBGRADE AS APPROVED BY THE ENGINEER FOR PLACEMENT OF BASE COURSE MATERIAL.

THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL SURPLUS MATERIAL IN AN APPROPRIATE MANNER OFF SITE ONCE PROJECT NEEDS HAVE BEEN MET. ALL CONSTRUCTION DEBRIS GENERATED FROM THE PROJECT SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR FOR DISPOSAL.

9 THE PROJECT WILL INCLUDE A PCC PAVEMENT PARKING LOT WITH CURB & GUTTER AND SIDEWALK AS INDICATED ON THE PLAN.

CONSTRUCT A 6" AGGREGATE BASE COURSE, 24" PCC CURB & GUTTER (STANDARD AND TIPPED OUT GUTTER AS INDICATED), 6" PCC PAVEMENT, AND 4' & 6" PCC SIDEWALKS TO THE LINES AND GRADES INDICATED ON THE PAVING PLAN.

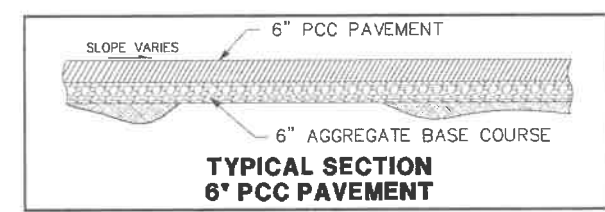
ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY OF SIOUX FALLS CONSTRUCTION REQUIREMENTS FOR PUBLIC INFRASTRUCTURE.

CONCRETE MIX FOR THE PCCP ITEMS SHALL BE SDDOT CLASS M6 or A40 OR APPROVED EQUIVALENT AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4000 psi.

CONCRETE SURFACE FINISH SHALL BE COARSE BROOM OR ROUGH CARPET DRAG ON ALL DRIVING SURFACES AND FINE BROOM FINISH ON EXTERIOR SIDEWALK AREAS. COORDINATE WITH THE OWNER FOR ANY REQUIRED CONCRETE COLORING OR STAMPING.

ALL PC CONCRETE SHALL BE CURED IMMEDIATELY FOLLOWING THE FINAL SURFACE FINISH USING AN APPROVED WHITE PIGMENTED CURING COMPOUND.

ALL PCCP SHALL BE PROTECTED FROM TRAFFIC OR MATERIAL STORAGE LOADS UNTIL IT HAS ATTAINED A MINIMUM COMPRESSIVE STRENGTH OF 3000 psi. RANDOM CRACKING OR SURFACE DEFORMITIES SHALL BE REMOVED AND REPLACED AT THE DISCRETION OF THE ENGINEER.



LEGEND

NOT ALL SYMBOLS APPEAR ON DRAWING

CENTERLINE	---
PROPERTY LINE	---
EXISTING CONTOURS	- - - -
PROPOSED CONTOURS	- - - -
NATURAL GAS	- - - -
UNDERGROUND TELEPHONE	- - - -
OVERHEAD TELEPHONE	- - - -
FIBER OPTIC	- - - -
UNDERGROUND POWER	- - - -
OVERHEAD POWER	- - - -
UNDERGROUND CABLE TV	- - - -
OVERHEAD CABLE TV	- - - -
EXISTING SANITARY SEWER	- - - -
SANITARY SEWER CLEAN-OUT	- - - -
EXISTING STORM SEWER	- - - -
STORM SEWER	- - - -
EXISTING WATER	- - - -
WATER MAIN	- - - -
WATER VALVE	- - - -
FIRE HYDRANT	- - - -
CURB STOP	- - - -
POST INDICATOR VALVE	- - - -
SPRINKLER HEAD	- - - -
POWER POLE	- - - -
TRAFFIC SIGNAL	- - - -
STREET LIGHT	- - - -
ELECTRICAL JUNCT. BOX	- - - -
UTILITY PEDESTAL	- - - -
POWER TRANSFORMER	- - - -
UTILITY VAULT	- - - -
BENCH MARK	- - - -
PROPERTY PIN	- - - -
GAS VALVE	- - - -
SANITARY SEWER MANHOLE	- - - -
TRAFFIC MANHOLE	- - - -
ELECTRICAL MANHOLE	- - - -
SF TYPE DROP INLET	- - - -
B1 DROP INLET	- - - -
STS JUNCT. BOX	- - - -
STS CATCH BASIN	- - - -
DETECTIBLE WARNING PANEL	- - - -
CURB & GUTTER	- - - -
CHAIN LINK FENCE	- - - -
BARBED WIRE FENCE	- - - -
WOOD FENCE	- - - -
SILT FENCE	- - - -
CONIFEROUS TREES	- - - -
DECIDUOUS TREES	- - - -
GRASS TURF	- - - -
LANDSCAPE ROCK	- - - -



12OCT2021

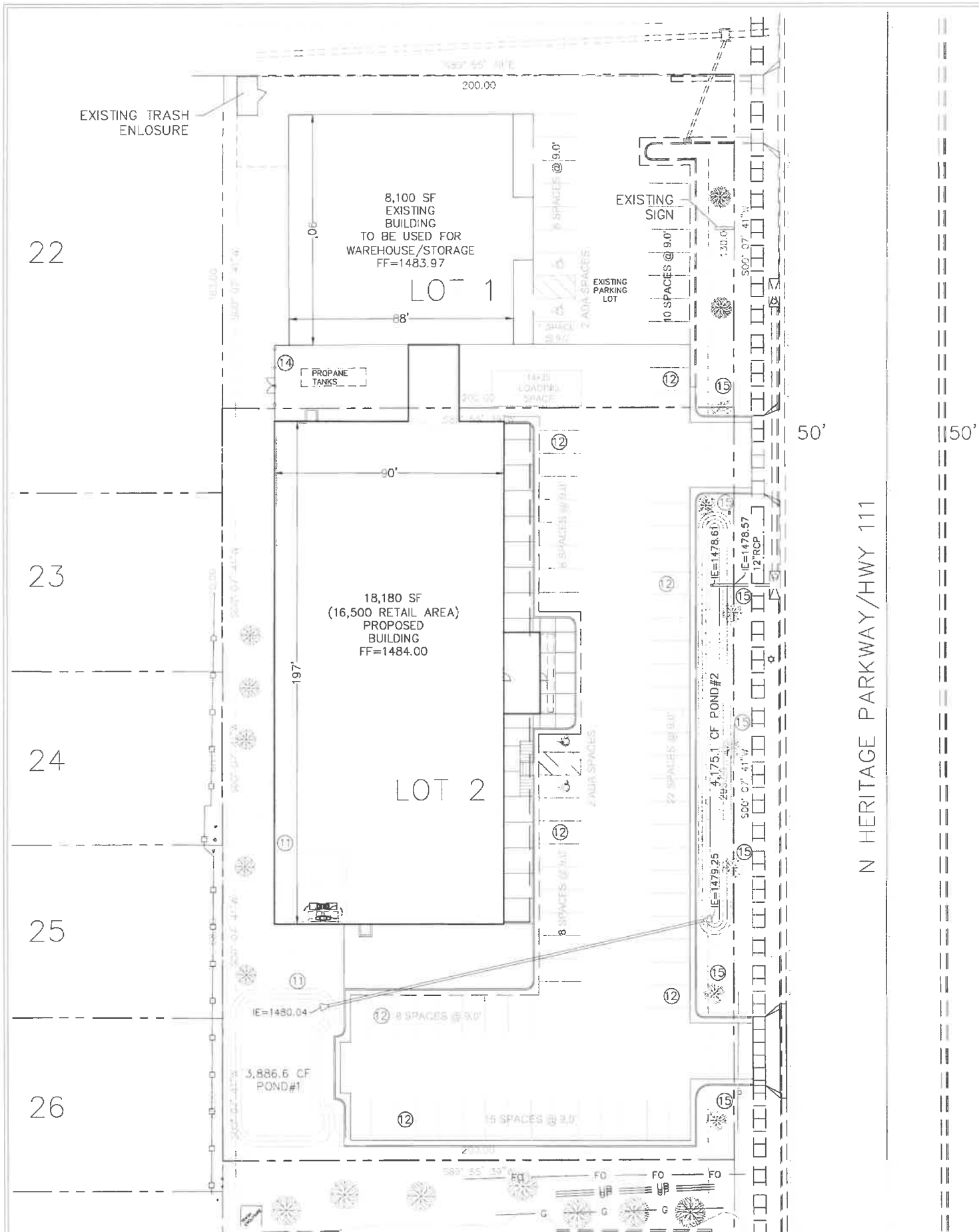
I, ERIC P. WILLADSEN, P.E., HEREBY ACKNOWLEDGE THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF SOUTH DAKOTA.

REVISIONS:	DATE:

WILLADSEN LUND ENGINEERING
 902 SOUTH CLEVELAND AVENUE www.willadsenlund.com
 SIOUX FALLS, SOUTH DAKOTA 57103 (605)338-6850

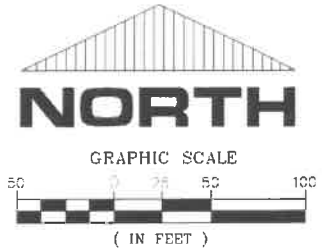
ACE HARDWARE
TEA, SOUTH DAKOTA

PROJECT No.:	2021-191	SHEET
DRAWN BY:	TWL	C3
APPROVED BY:	EPW	
DATE:	OCT2021	



CONSTRUCTION NOTES

- ⑩ PLACE MINIMUM 4" TOPSOIL ON ALL DISTURBED AREAS OUTSIDE LIMITS OF PAVING. TOPSOIL SHALL BE FINE GRADED TO BE READY FOR SOD OR SEED.
SEED, FERTILIZE, AND MULCH AREAS OF TURF DISTURBED BY CONSTRUCTION ACTIVITIES OUTSIDE THE LIMITS OF PAVING AND SOD. THE CONTRACTOR SHALL USE THE FOLLOWING SEED MIXTURE OR AN EQUIVALENT SIMILAR MIXTURE THAT IS APPROVED BY THE ENGINEER.
THE SEED MIX FOR THE DISTURBED TURF AREAS SHALL BE MILLBORN DELUXE TURF MIXTM OR APPROVED EQUIVALENT, APPLIED AT A RATE OF 4LB/1000SF. SEED MIX AND FERTILIZER SHALL BE APPROVED BY THE OWNER PRIOR TO PLACEMENT.
SEED AREAS WILL REQUIRE AN APPROPRIATE STARTER FERTILIZER, SUSTANETM 8-24 OR APPROVED EQUIVALENT, APPLIED AT A RATE OF 10LB/1000SF.
- GRASS, HAY, OR STRAW MULCH WILL BE ACCEPTABLE FOR USE, APPLY MULCH AT A RATE OF 2 TONS PER ACRE OF SEEDED AREA.
- ⑪ INSTALL 6" BOLLARDS AT LOCATIONS INDICATED. SEE STANDARD PLATES FOR CONSTRUCTION DETAILS AND CONSTRUCTION REQUIREMENTS. (SITE DOES NOT CURRENTLY REQUIRE ANY BOLLARDS, BUT INCLUDED IF THE SITE NECESSITATES.)
- ⑫ INSTALL 4" YELLOW PAVEMENT MARKING PAINT FOR PARKING LOT STRIPING AND ADA SYMBOLS AS INDICATED. INSTALL REQUIRED SIGNAGE FOR ADA PARKING STALLS AND CLEAR SPACES. SEE STANDARD PLATES FOR SIGNAGE REQUIREMENTS.
- ⑬ THE EXISTING WOOD TRASH ENCLOSURE WILL REMAIN IN THE SAME LOCATION.
- ⑭ INSTALL 6' CHAIN LINK FENCE WITH DUAL 4' SWING GATES AT LOCATION INDICATED.
- ⑮ PLANT MINIMUM 2" CALIPER DECIDUOUS TREES AS INDICATED ON THE SITE LANDSCAPING/PARKING PLAN. MULTIPLE SPECIES ARE AS SPECIFIED ON THE LANDSCAPE PLAN. OWNER SHALL HAVE FINAL APPROVAL FOR ALL TREES AND LANDSCAPING PRIOR TO PLANTING.
- ⑯ SIGNAGE FOR THE PROJECT IS BY OTHERS UNDER SEPARATE PERMIT. BUILDING WALL SIGNS ARE FOUND ON THE ARCHITECTURAL PLANS.
- ⑰ SEE THE ELECTRICAL PLAN FOR PARKING LOT LIGHTING REQUIREMENTS. LIGHT FOOTING CONSTRUCTION DETAILS INCLUDED WITH THIS PLAN.



LEGEND

NOT ALL SYMBOLS APPEAR ON DRAWING

CENTERLINE	---
PROPERTY LINE	---
EXISTING CONTOURS	---1400---
PROPOSED CONTOURS	---1400---
NATURAL GAS	---
UNDERGROUND TELEPHONE	---UT---
OVERHEAD TELEPHONE	---OT---
FIBER OPTIC	---FO---
UNDERGROUND POWER	---UP---
OVERHEAD POWER	---OP---
UNDERGROUND CABLE TV	---UTV---
OVERHEAD CABLE TV	---OTV---
EXISTING SANITARY SEWER	---SS---
SANITARY SEWER CLEAN-OUT	---SCO---
EXISTING STORM SEWER	---STS---
STORM SEWER	---STS---
EXISTING WATER	---W---
WATER MAIN	---W---
WATER VALVE	---WV---
FIRE HYDRANT	---FH---
CURB STOP	---CS---
POST INDICATOR VALVE	---PIV---
SPRINKLER HEAD	---SH---
POWER POLE	---PP---
TRAFFIC SIGNAL	---TS---
STREET LIGHT	---SL---
ELECTRICAL JUNCT. BOX	---EJ---
UTILITY PEDESTAL	---UP---
POWER TRANSFORMER	---PT---
UTILITY VAULT	---UV---
BENCH MARK	---BM---
PROPERTY PIN	---PPIN---
GAS VALVE	---GV---
SANITARY SEWER MANHOLE	---SSM---
TRAFFIC MANHOLE	---TM---
ELECTRICAL MANHOLE	---EM---
SF TYPE DROP INLET	---SDI---
B1 DROP INLET	---B1DI---
STS JUNCT. BOX	---STSJB---
STS CATCH BASIN	---STSCB---
DETECTIBLE WARNING PANEL	---DWP---
CURB & GUTTER	---CG---
CHAIN LINK FENCE	---CLF---
BARBED WIRE FENCE	---BWF---
WOOD FENCE	---WF---
SILT FENCE	---SF---
CONIFEROUS TREES	---CT---
DECIDUOUS TREES	---DT---
GRASS TURF	---GT---
LANDSCAPE ROCK	---LR---

PARKING REQUIREMENTS

18,180 SF BLDG/300	=	61	SPACES
8,100 SF WAREHOUSE/STORAGE	=	2	SPACES
TOTAL REQUIRED SPACES	=	63	SPACES

PROPOSED PARKING

OUTDOOR PARKING SPACES	=	78	SPACES
ADA PARKING SPACES	=	4	SPACES
14x35 LOADING SPACE	=	1	SPACE
TOTAL PROPOSED SPACES	=	83	SPACES

TREE REQUIREMENTS

N HERITAGE PARKWAY FRONTAGE TREES	295/50	-	6 TREES REQUIRED
TOTAL TREES REQUIRED ONSITE		-	6 TREES
PROPOSED PLANT SPECIES:			
(OR EQUIVALENT)	AB - AUTUMN BLAZE MAPLE	(3)	
	HL - SKYLIVE HONEY LOCUST	(3)	
FRONTYARD SETBACK GROUND COVER:	BLUEGRASS		



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ACE HARDWARE
TEA, SOUTH DAKOTA

PROJECT No.:	2021-191	SHEET
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DATE:	OCT2021	



LEGEND

NOT ALL SYMBOLS APPEAR ON DRAWING

- CENTERLINE
- PROPERTY LINE
- - - - - EXISTING CONTOURS
- - - - - PROPOSED CONTOURS
- - - - - STS PROPOSED STORM SEWER
- - - - - SPCS SUMP PUMP COLLECTION SYSTEM
- ☒ SF TYPE DROP INLET
- ☒ BI DROP INLET
- ☒ STS JUNCT. BOX
- ☒ GRASS TURF
- ☒ SF SILT FENCE
- ☒ SD SILT DITCH
- ☒ DD DIVERSION DIKE
- ☒ IP INLET/OUTLET PROTECTION
- ☒ RIP RAP
- ☒ VTC VEHICLE TRACKING CONTROL

EROSION CONTROL NARRATIVE

THE FOLLOWING NARRATIVE REPORT AND ACCOMPANYING EROSION CONTROL PLAN SPECIFIES HOW THE PROJECT CONTRACTOR AND SUB-CONTRACTORS SHALL ADDRESS POTENTIAL SOIL EROSION AND SEDIMENT CONTROL ISSUES THAT MAY ARISE DUE TO THE PROPOSED CONSTRUCTION OPERATIONS FOR THE PROJECT.

PROJECT DESCRIPTION:
THE PROJECT GENERALLY CONSISTS OF CONSTRUCTION OF A 30,000SF COMMERCIAL BUILDING AND ASSOCIATED HARD SURFACED PARKING LOT.

TEMPORARY EROSION CONTROL MEASURES INDICATED IN THESE PLANS SHALL BE IN PLACE PRIOR TO LAND DISTURBING ACTIVITY WITHIN THE WORK AREAS.

EXISTING SITE CONDITIONS:
THE EXISTING SITE TOPOGRAPHY GENERALLY SLOPES FROM THE SOUTH TO NORTH WITH SLOPES RANGING FROM 0.5% TO 1%. SURFACE RUNOFF IS DIRECTED TO THE PROPOSED DETENTION PONDS LOCATED ON SITE.

SURROUNDING PROPERTY USE:
NORTH: EXISTING ACE HARDWARE STORE
SOUTH: COMMERCIAL/OFFICE
EAST: COMMERCIAL
WEST: RESIDENTIAL HOUSING

PROJECT AREA:
THE PROJECT LIMITS COVER APPROXIMATELY 0.9 ACRES. TEMPORARY EROSION CONTROL MEASURES WILL BE REQUIRED TO PREVENT TRANSPORT OF SEDIMENT TO ADJACENT PROPERTIES. A VEHICLE TRACKING STATION, SILT FENCE, AND INLET PROTECTION WILL BE IMPLEMENTED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

TEMPORARY EROSION CONTROL MEASURES:
PROPOSED TEMPORARY EROSION CONTROL DEVICES ARE DESIGNED TO SLOW STORM WATER RUNOFF TO ALLOW SEDIMENT TO SETTLE OUT PRIOR TO RELEASE TO STORM SEWERS AND ADJACENT PROPERTIES. THE TEMPORARY SILT FENCE AND INLET PROTECTION ARE INDICATED ON THE PLAN TO ATTAIN THIS OBJECTIVE. ALL STORM WATER RUNOFF WILL BE DIRECTED BY OVERLAND FLOW OR OPEN CHANNELS IF NEEDED TO THE SEDIMENT COLLECTION DEVICES BEFORE BEING RELEASED TO DOWNSTREAM PROPERTIES.

DUST CONTROL:
TO AVOID DUST MIGRATION AND DEPOSITION OFF SITE, AN APPROPRIATE APPLICATION OF WATER OR OTHER APPROVED DUST SUPPRESSION TECHNIQUES SHALL BE REQUIRED.

TRAINING:
CONTRACTOR RESPONSIBLE FOR EROSION CONTROL SHALL INSURE THAT PERSONNEL INVOLVED WITH SEDIMENT CONTROL DEVICES HAVE THE ANNUAL TRAINING REQUIRED BY THE SD DENR FOR THEIR INSTALLATION AND MAINTENANCE AS PER THE SD STORM WATER PERMIT REQUIREMENTS.

CONSTRUCTION SCHEDULE:

TEMPORARY INITIAL EROSION CONTROL MEASURES	OCT 2021
FOOTINGS & FOUNDATION	OCT 2021
SANITARY SEWER & WATER SERVICE	OCT 2021
BUILDING CONSTRUCTION	OCT 2021-JUL 2022
GRADING, GRAVEL, C&G AND SURFACING	MAY 2022 - JUN 2022
TEMPORARY SURFACE STABILIZATION	NOV 2021
PERMANENT STABILIZATION MEASURES	AS CONST IS COMPLETED
REMOVAL OF TEMPORARY EROSION CONTROL MEASURES	AS SITE CONDITIONS WARRANT
	WHEN FINAL STABILIZATION IS ACHIEVED

PROJECT SITE INSPECTION PRIORITY: HIGH MEDIUM LOW

NOTIFICATION OF GOVERNING AUTHORITY:
FOLLOWING THE APPROVAL OF THE CONSTRUCTION AND EROSION CONTROL PLANS BY CITY ENGINEERING AND PRIOR TO ISSUANCE OF A CONSTRUCTION OR GRADING PERMIT, THE PRIMARY RESPONSIBLE PARTY SHALL CONTACT THE CITY EROSION CONTROL INSPECTOR FOR INSPECTION OF INSTALLATION OF INITIAL EROSION CONTROL MEASURES.

WRITTEN INSPECTION APPROVAL AND INSTALLATION OF A CONTACT INFORMATION SIGN IS REQUIRED PRIOR TO OBTAINING A GRADING OR CONSTRUCTION PERMIT.

INITIAL EROSION CONTROL MEASURES SHALL INCLUDE ALL PERIMETER EROSION CONTROL AND OTHER DEVICES AS SPECIFIED IN THE FOLLOWING EROSION CONTROL CONSTRUCTION SEQUENCE OR AS SHOWN DIRECTLY ON THE PLANS. DISTURB ONLY THE AREA REQUIRED FOR INSTALLATION OF INITIAL EROSION CONTROL DEVICES.

- EROSION CONTROL CONSTRUCTION SEQUENCE:**
- INITIAL EROSION CONTROL MEASURE: THE REQUIRED CONTACT INFORMATION SIGN SHALL BE ERECTED AT THE ENTRANCE TO THE PROJECT INDICATING THE PRIMARY RESPONSIBLE PERSON IN CHARGE OF EROSION CONTROL FOR THE PROJECT.
 - INITIAL EROSION CONTROL MEASURE: CONTRACTOR SHALL INSTALL TEMPORARY AND SILT FENCE AT THE LOCATIONS INDICATED AND MAINTAIN FOR THE DURATION OF THE PROJECT.
 - INITIAL EROSION CONTROL MEASURE: INSTALL INLET PROTECTION ON THE EXISTING STORM DRAINAGE INLETS AND ALSO AS NEW INLETS ARE CONSTRUCTED. SEE STANDARD DETAILS FOR VARIOUS APPLICATION TYPES.
 - INSTALL VEHICLE TRACKING CONTROL STATION IN ACCORDANCE WITH THE STANDARD PLATE AT THE LOCATION INDICATED. ALL VEHICLES EXITING THE PROJECT AREA SHALL UTILIZE THIS TRACKING STATION TO AVOID TRACKING ROCKS AND MUD ONTO ADJACENT STREETS.
 - CONSTRUCT A REDMIX TRUCK WASHOUT AT THE LOCATION INDICATED IN ACCORDANCE WITH THE STANDARD PLATE. CLEAN OUT AND DISPOSE OF CONCRETE DEBRIS IN AN APPROPRIATE MANNER AT THE CONCLUSION OF CONSTRUCTION.
 - CONTACT CITY EROSION CONTROL INSPECTOR FOR INITIAL EROSION CONTROL INSPECTION AND APPROVAL.
 - THE CONTRACTOR SHALL PROVIDE EROSION PROTECTION THROUGH ALL PHASES OF CONSTRUCTION. SEDIMENT SHALL NOT BE ALLOWED TO ENTER THE CITY STORM SEWER SYSTEM.
 - AS AREAS OF THE PROJECT ARE BROUGHT TO FINAL GRADE AND STREET SECTIONS COMPLETED, TOPSOIL SHALL BE PLACED AND PERMANENT EROSION CONTROL SUCH GRASS SOD, SEED & MULCH OR PERMANENT LANDSCAPING SHALL BE INSTALLED WITHIN 14 DAYS. COMPLY WITH REQUIREMENTS OF THE CITY OF SIOUX FALLS FOR MAXIMUM TIME LIMITS OF LAND EXPOSURE:
 - TEMPORARY SILT FENCE AND INLET PROTECTION SHALL BE REMOVED ONLY AFTER ESTABLISHMENT OF PERMANENT GRASS TURF, PAVEMENTS, AND LANDSCAPED AREAS.
 - ALL STREETS SHALL BE CLEANED AND BE FREE OF DIRT AND DEBRIS AT THE END OF EACH WORKING DAY.

Maximum Time Limits of Land Exposure for Selection of Erosion Controls

Erosion Control Method	Maximum Allowable Period of Exposure (Months)
Surface Roughening	1
Mulching	12
Temporary Re-vegetation	12-24
Permanent Re-vegetation	24 or more
Soil Stockpile Re-vegetation	2
Early Application of Road Base	1

SURFACE SOIL STABILIZATION:
AFTER CONSTRUCTION BEGINS, SOIL SURFACE STABILIZATION SHALL BE APPLIED WITHIN 14 DAYS TO ALL DISTURBED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT (UNDISTURBED) FOR PERIODS LONGER THAN AN ADDITIONAL 21 CALENDAR DAYS. WITHIN 14 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE, PERMANENT OR TEMPORARY SOIL SURFACE STABILIZATION SHALL BE APPLIED TO DISTURBED AREAS AND SOIL STOCKPILES.

TOPSOIL:
OPERATOR SHALL PRESERVE EXISTING TOPSOIL AND PLACE TOPSOIL IN AN ATTEMPT TO MINIMIZE SOIL COMPACTION WHERE FEASIBLE.

STORMWATER MANAGEMENT CONSIDERATIONS:
DURING CONSTRUCTION ACTIVITIES, STORMWATER WILL SHEET FLOW TO THE DIVERSION DIKES AND SILT FENCE AND FLOW TO THE INLET PROTECTION. THE SILT FENCE AND INLET PROTECTION WILL SLOW THE RUNOFF TO ALLOW SEDIMENT TO SETTLE OUT OF THE WATER PRIOR TO BEING RELEASED DOWNSTREAM. THESE DEVICES WILL SERVE TO COLLECT SEDIMENT AND DISSIPATE ENERGY FROM THE RUNOFF, THUS MAINTAINING THE WATER QUALITY OF THE RUNOFF DURING CONSTRUCTION.

POST CONSTRUCTION ACTIVITY STORMWATER QUALITY CONTROL MEASURES CONSIST OF BLUEGRASS SOD OR SEED TURF YARD AREAS, LANDSCAPED AREAS, CURB & GUTTER AND PAVEMENT AND CONVEYANCE TO STORM SEWER INLETS AND PIPING SYSTEM TO THE ON SITE DETENTION POND.

MAINTENANCE:
THE CONTRACTOR SHALL MAINTAIN THE TEMPORARY EROSION CONTROL MEASURES UNTIL PAVEMENT AREAS ARE COMPLETED, TURF AREAS ARE ESTABLISHED, AND FINAL STABILIZATION HAS BEEN ACHIEVED.

THE CONTRACTOR SHALL CONDUCT AN INSPECTION OF THE TEMPORARY AND PERMANENT EROSION CONTROL DEVICES ON A WEEKLY BASIS, SUPPLEMENTED BY ADDITIONAL INSPECTIONS FOLLOWING MAJOR RAIN STORM OR SNOW MELT EVENTS OF 1/4" OR GREATER. SHOULD IT BE FOUND THAT THE SYSTEM IS INADEQUATE OR HAS FAILED AT SOME POINT, MODIFICATIONS AND REPAIRS SHALL BE MADE WITHIN 24 HOURS OF THE END OF THE STORM TO ENSURE THAT THE PROBLEMS ARE CORRECTED PRIOR TO FUTURE STORM EVENTS.

THE CONTRACTOR SHALL ENSURE THAT ADJACENT STREETS ARE CLEANED AND FREE OF MUD AND DEBRIS AT THE END OF EACH WORKING DAY.

WETLANDS:
JURISDICTIONAL WETLANDS ON THE SITE: YES NO

PROPERTY WITHIN THE BOUNDARIES OF THE 100 YEAR FLOOD AS INDICATED ON THE NATIONAL FLOOD INSURANCE RATE MAPS. (FIRM) YES NO

NOTICE OF INTENT - (NOI) FILED WITH SD DENR YES NO

PERMIT No. N/A

THE PRIMARY RESPONSIBLE PARTY SHALL NOTIFY THE CITY EROSION CONTROL INSPECTOR (367-8279) WHEN THE SITE HAS REACHED FINAL STABILIZATION AND FILE A NOTICE OF TERMINATION (NOT) WITH THE SOUTH DAKOTA DENR.

UNITES STATES FISH & WILDLIFE SERVICE PLAN REVIEW YES NO

SOUTH DAKOTA GAME FISH & PARKS PLAN REVIEW YES NO

SD HISTORICAL PRESERVATION OFFICE PLAN REVIEW YES NO

HAZARDOUS SPILL PREVENTION PLAN:
PETROLEUM PRODUCTS: ONSITE CONSTRUCTION EQUIPMENT WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE.

ASPHALT CONCRETE: ASPHALT SUBSTANCES USED ON SITE SHALL BE APPLIED ACCORDING TO SD DOT AND CITY OF SIOUX FALLS SPECIFICATIONS.

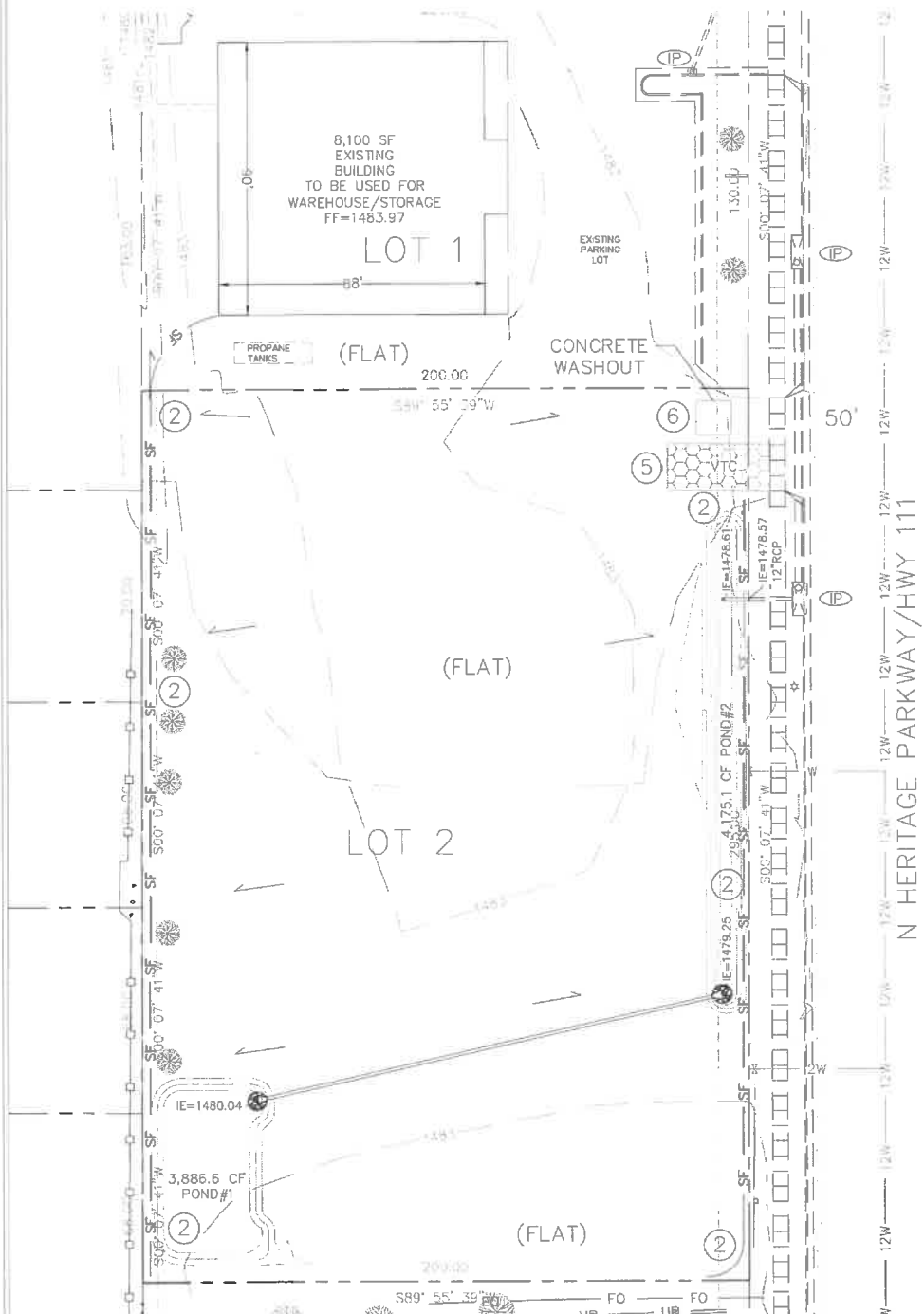
FERTILIZERS: THE USE OF FERTILIZERS SHALL BE ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

CONCRETE: CONCRETE TRUCKS SHALL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE ON THE SITE UNLESS A SPECIFIC CONTAINED SITE IS PROVIDED AND APPROVED BY THE CITY EROSION CONTROL INSPECTOR.

SPILL CONTROL PRACTICES:
SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY UPON DISCOVERY. ALL SPILLS SHALL BE CONTAINED AND CLEANED UP IMMEDIATELY AFTER DISCOVERY USING APPROVED INDUSTRY STANDARDS AND METHODS.

I, ERIC P. WILLADSEN, HEREBY ACKNOWLEDGE THAT THIS EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF SOUTH DAKOTA.

ENGINEER:  Signature *Eric P. Willadsen* 12OCT2021 date



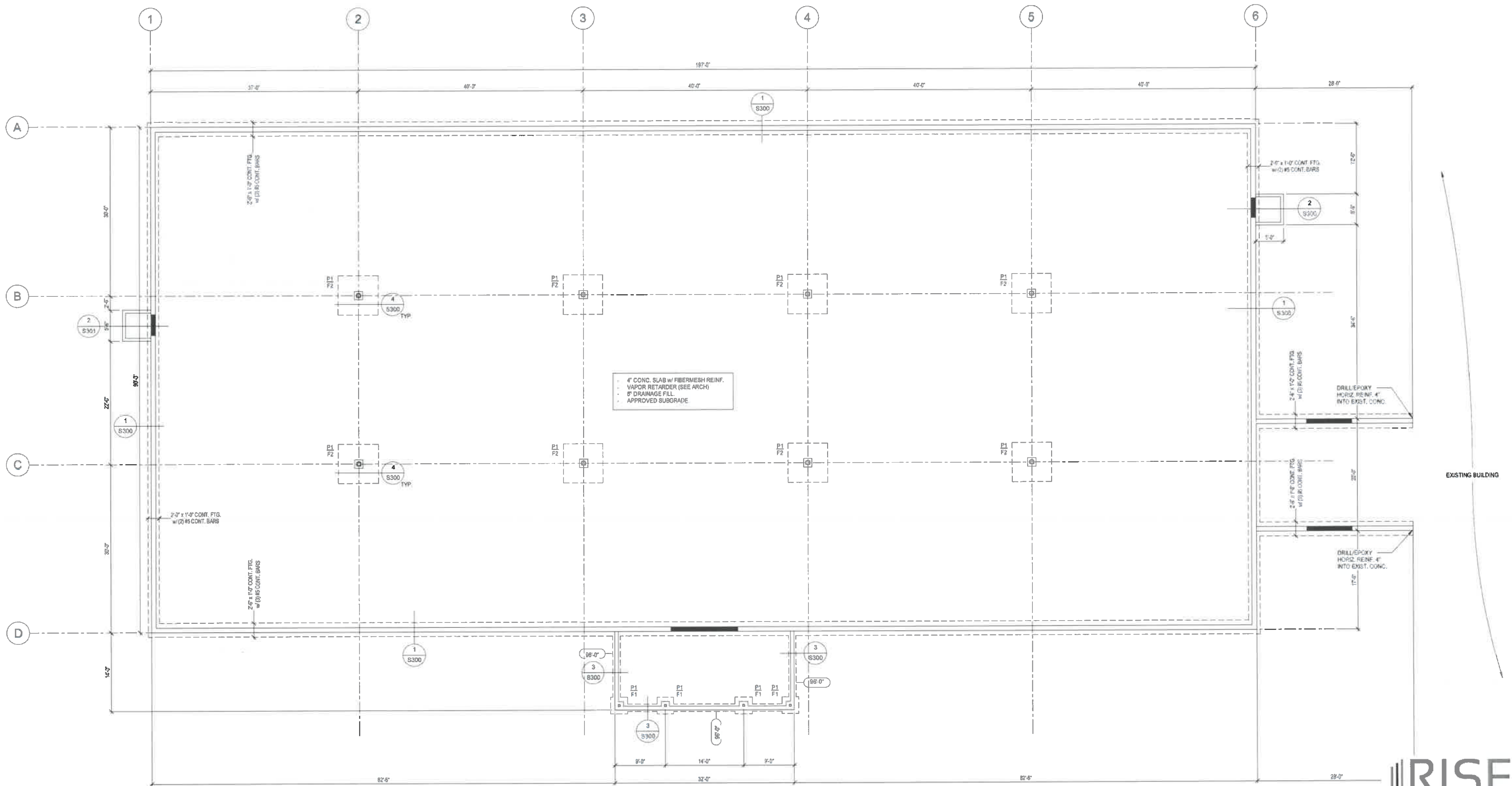
REVISIONS:	DATE:

WLE  **WILLADSEN LUND ENGINEERING**
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 SIOUX FALLS, SOUTH DAKOTA 57103 (605)338-6950

ACE HARDWARE
TEA, SOUTH DAKOTA

SWPP PLAN

PROJECT No.:	2021-191	SHEET
DRAWN BY:	TWL	C5
APPROVED BY:	EPW	
DATE:	OCT2021	



4" CONC. SLAB w/ FIBERMESH REINF.
 - VAPOR RETARDER (SEE ARCH)
 - 8" DRAINAGE FILL
 - APPROVED SUBGRADE

1 FOOTING & FOUNDATION PLAN
 1/8" = 1'-0" F.F.E. = 100'-0"

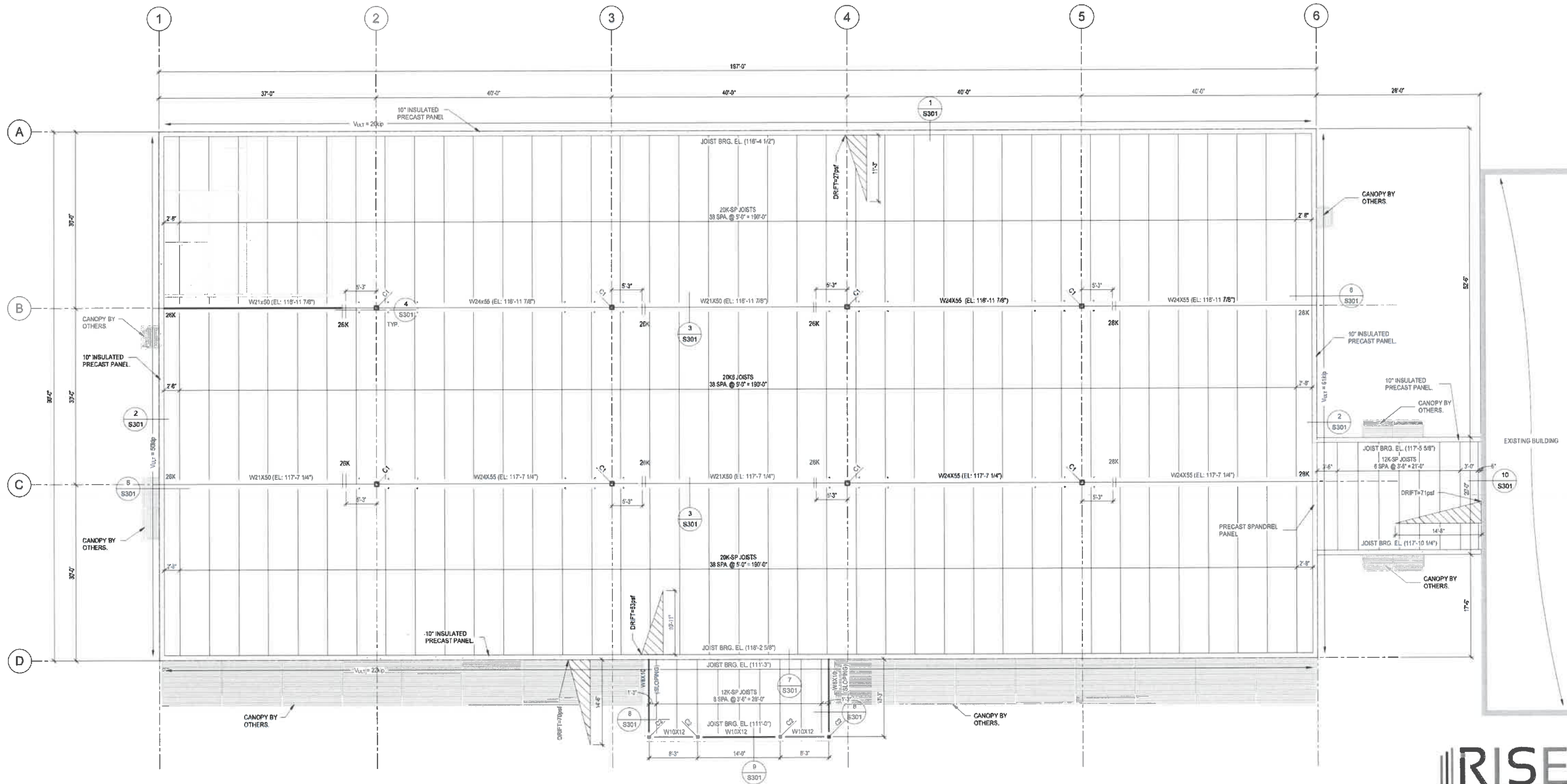
- NOTES:**
- CONTRACTOR TO SUBMIT CONTROL JOINT LAYOUT FOR ARCH/ENGINEER APPROVAL. SEE STRUCTURAL NOTES FOR SIZE/SPACING LIMITATIONS.
 - SEE 586 ON SHT. S300 FOR TYPICAL CONTROL JOINT DETAILS.
 - SEE 7/3300 FOR TYPICAL WALL CORNER REINFORCING.

RISE
 STRUCTURAL ASSOCIATES INC.
 6908 S. Lynnwood Place - Suite 110
 Sioux Falls, SD 57109
 (605) 743-2810

ACE HARDWARE
 TEA, SOUTH DAKOTA
FOOTING AND FOUNDATION PLAN
 10/05/21
 VMH
 WK-K
S100



RS&A
 ARCHITECTURE • DESIGN
 605.336.6891
 605.335.5858 Fax
 2307 W. 57th St., Suite 201
 Sioux Falls, SD 57108
 rso@rsa-creata.com



1 ROOF FRAMING PLAN
 1/8" = 1'-0"

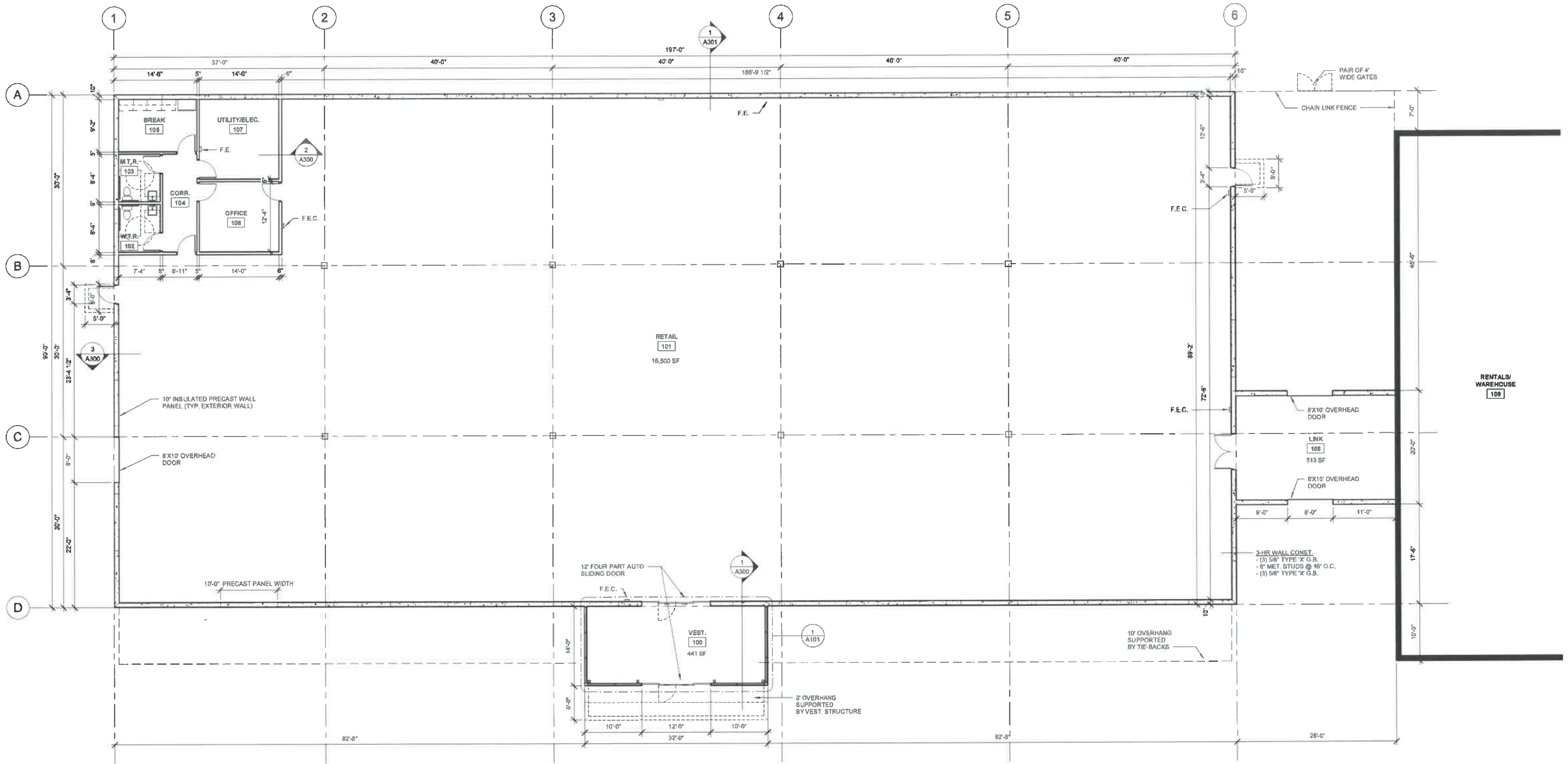
- NOTES:
- ROOF DECK TO BE 1.58 22 GA. METAL DECK. FASTEN TO STRUCTURE W/ HILTI X-ENP-19 DECK PINS USING 364 PATTERN & (1) HILTI SLIC @ 24" O.C.
 - JOIST BRIDGING BY JOIST DESIGNER PER SJI GUIDELINES.
 - SEE S/S301 FOR TYPICAL BEAM TO COLUMN DETAIL.

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ACE HARDWARE
 TEA, SOUTH DAKOTA
ROOF FRAMING PLAN
 10/08/21
 VMH
 WJK
S200
 21272



605.336.6891
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 2307 W. 57th St., Suite 201
 Sioux Falls, SD 57108
 rsa@rise-create.com



1 FLOOR PLAN
1/8" = 1'-0"

ACE HARDWARE
TEA, SOUTH DAKOTA

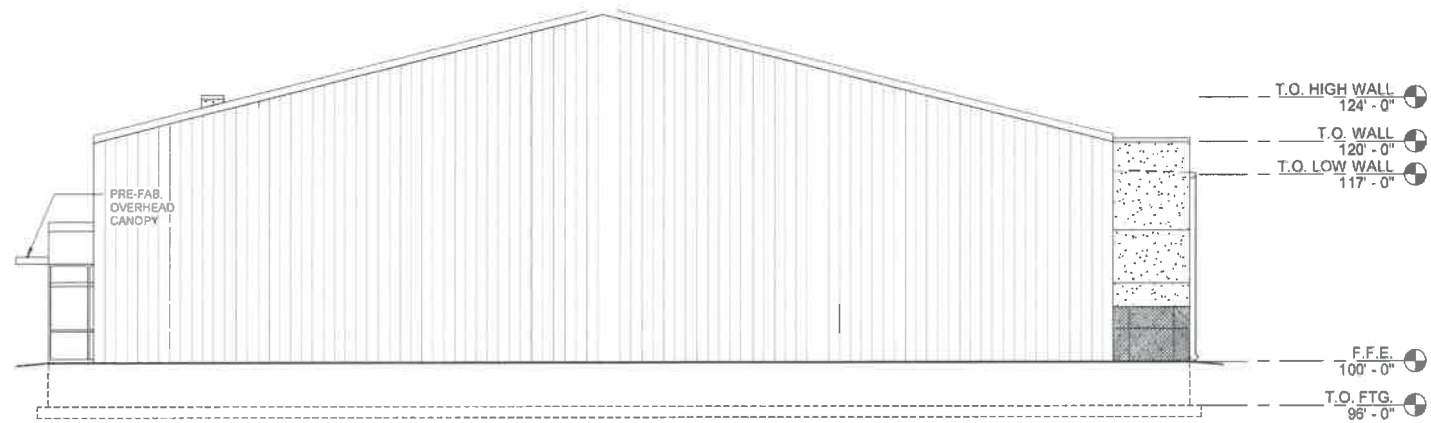
MAIN LEVEL PLAN

08/19/2021
AS
JD

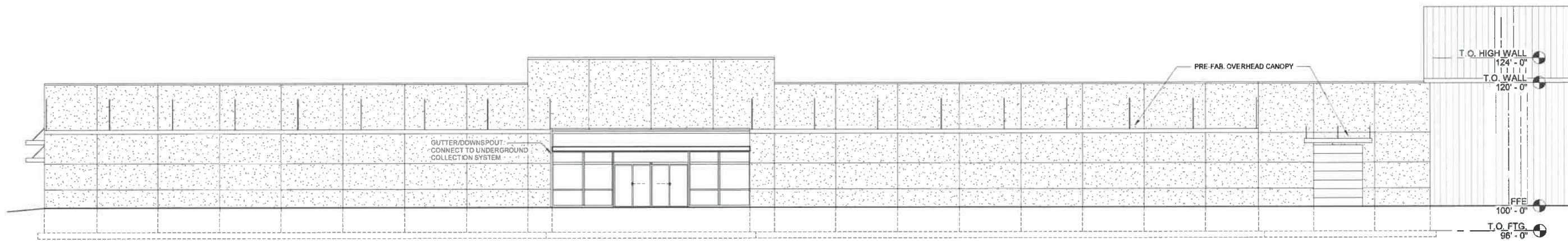
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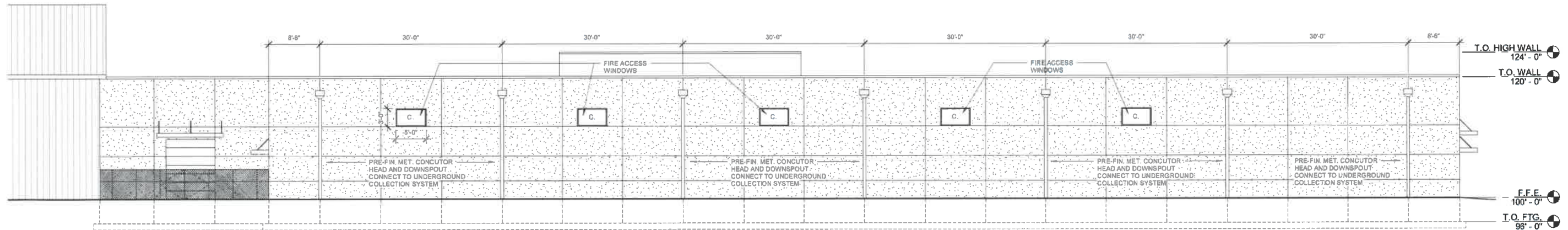
605.336.6891
605.335.5858 Fax
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Sioux Falls, SD 57108
rsa@rsa-crea.com



1 NORTH ELEVATION
1/8" = 1'-0"

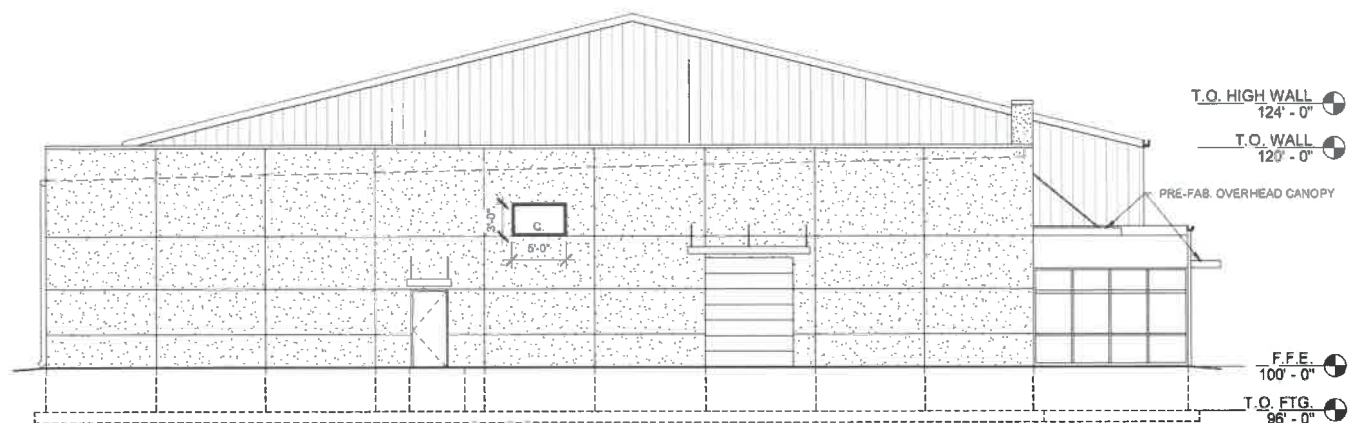


2 EAST ELEVATION
1/8" = 1'-0"



4 WEST ELEVATION
1/8" = 1'-0"

C = 1" INSULATED GLASS IN ALUMINUM FRAME
TEMPERED, LOW-E, TINTED



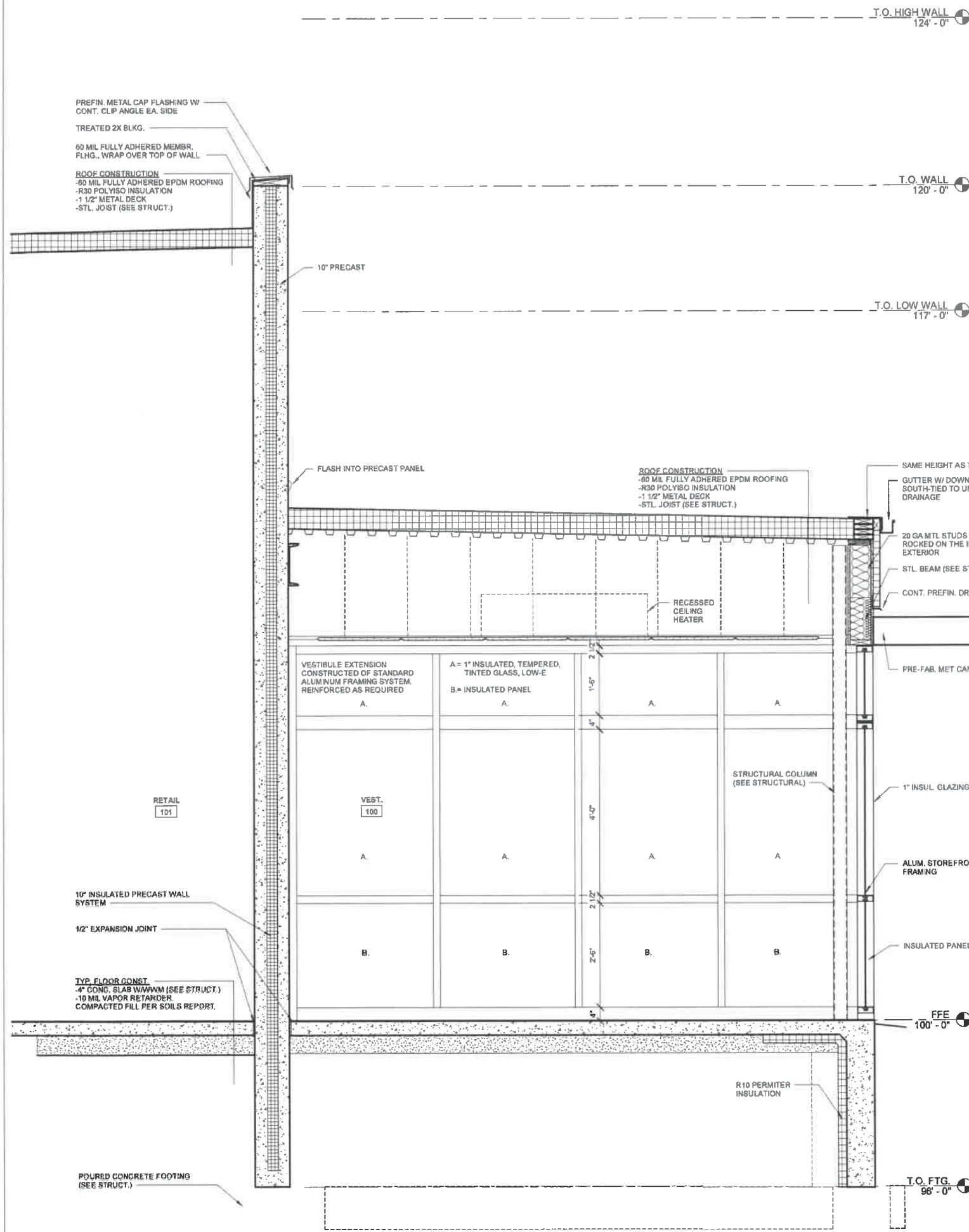
3 SOUTH ELEVATION
1/8" = 1'-0"

ACE HARDWARE
TEA, SOUTH DAKOTA
EXTERIOR ELEVATIONS

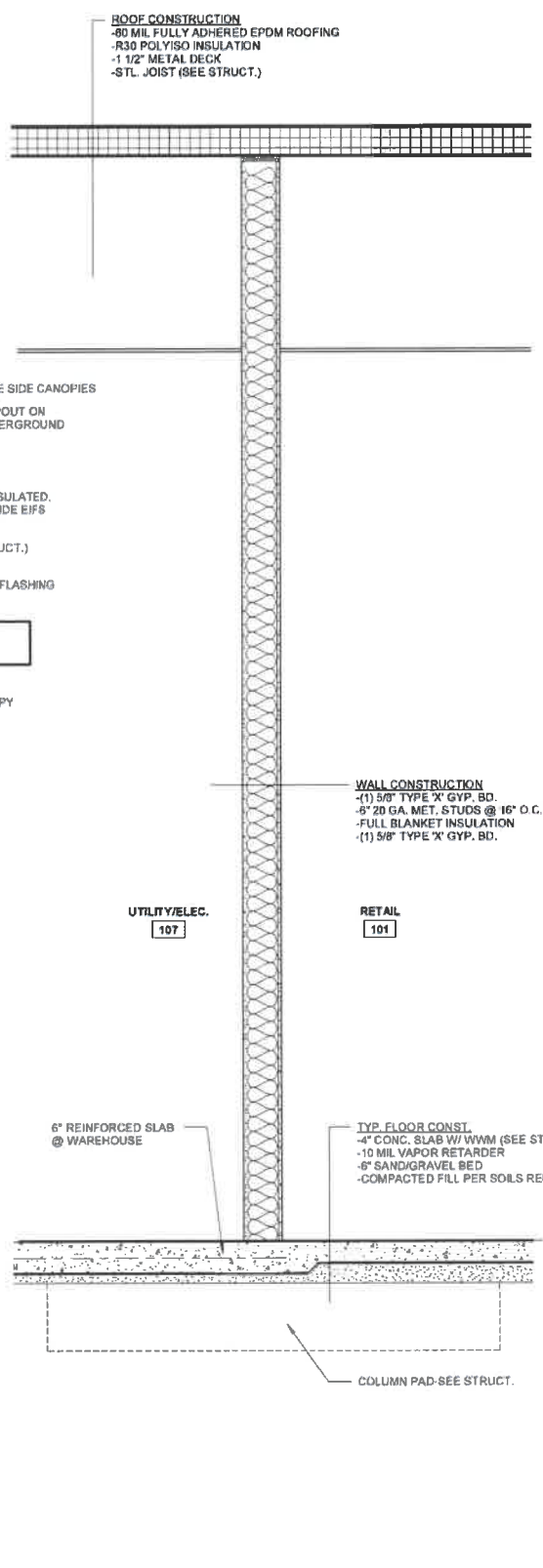
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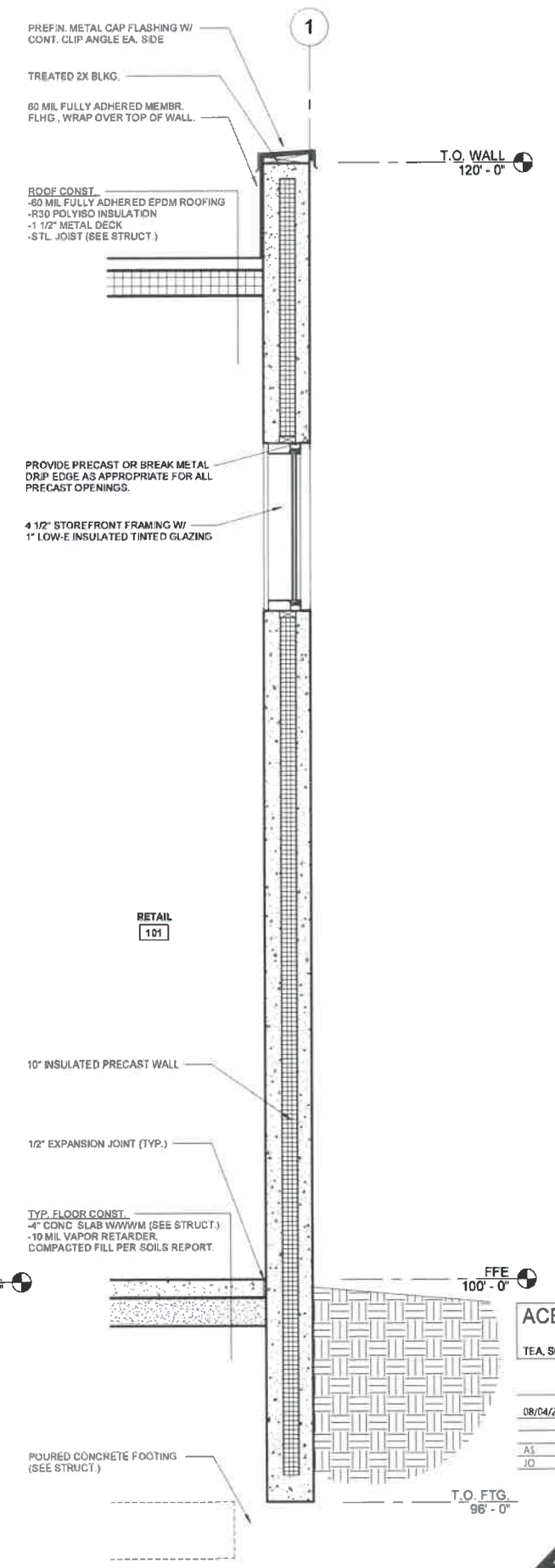
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1 ENTRY WALL SECTION
3/4" = 1'-0"



2 OFFICE WALL SECTION
3/4" = 1'-0"



3 SOUTH WALL SECTION
3/4" = 1'-0"

ACE HARDWARE
TEA, SOUTH DAKOTA

WALL SECTIONS

RS221-27

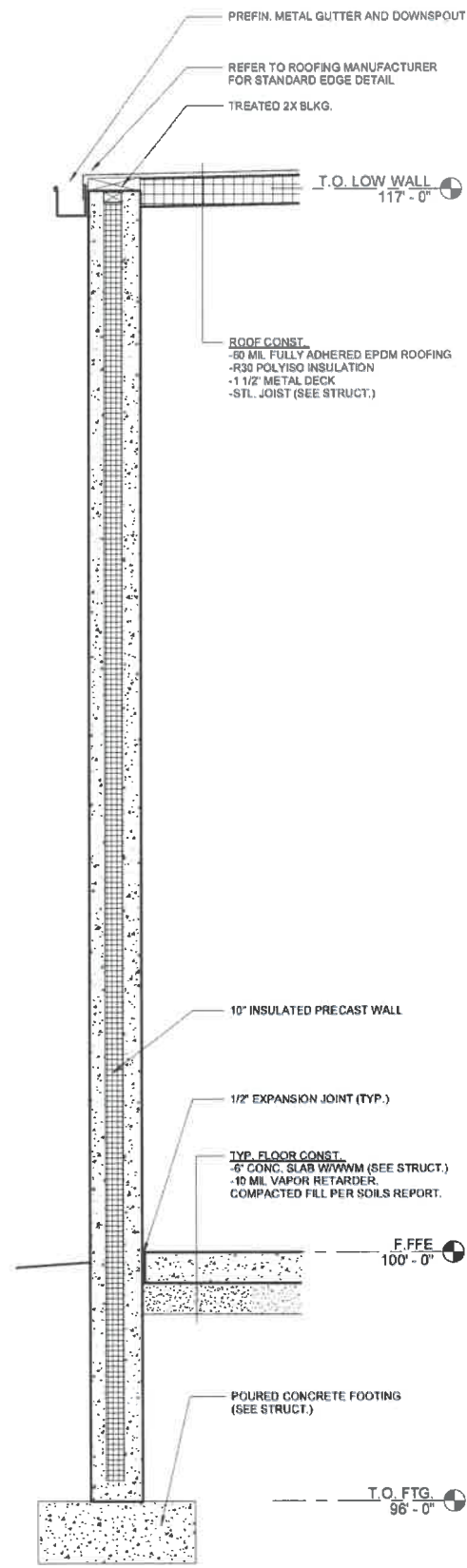
A300

08/04/2021

AS

JD

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1 WEST WALL SECTION
3/4" = 1'-0"

ACE HARDWARE
TEA, SOUTH DAKOTA

RENTAL CENTER SECTION

08/04/2021

AS
JO

RS221-27

A301

ARCHITECTURE + DESIGN

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